 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	09 February 2022
	REPORT OF:	HEAD OF PLANNING
	AUTHOR:	Lesley Westphal
	TELEPHONE :	01737 276769
	EMAIL:	Lesley.westphal@reigate-banstead.gov.uk
AGENDA ITEM:	7	WARD: Reigate

APPLICATION NUMBER:	21/02009/F	VALID:	02/08/2021
APPLICANT:	Elizabeth Finn Care	AGENT:	DAC Architects
LOCATION:	EVERSFIELD, 56 REIGATE ROAD, REIGATE SURREY RH2 0QR		
DESCRIPTION:	Extension of Care Home to increase the number of bedrooms by 16 with associated internal and external works.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

SUMMARY

The proposed scheme would provide a two-storey extension to this previously extended care home to provide an additional 16 bedrooms to the care home.

The site lies within the Chart Lane Conservation Area and the original part of the building is a locally listed building. The scheme has been subject to pre-application and application discussions seeking to overcome original concerns about the scale and design of the scheme and its impact upon the surrounding environment. Amended plans have reduced the scale of the building and the design is now considered sympathetic to the character of the locally listed part of the building and the more recent extension. Overall, this is considered to preserve and protect the character of the Conservation area and surrounding area.

The scheme would result in the loss of a number of trees, including a category A and category B tree. The DMP seeks to avoid such losses although each case must be dealt with on an individual basis. In this case it is considered that the benefits accrued from the additional care home provision together with the remaining levels of planting and potential for significant levels of new planting would outweigh the harm caused by the loss of these and other lesser category trees.

Neighbours to the site have raised strong objection to a number of impacts including overbearing relationship, overlooking, loss of privacy, loss of view and outlook and noise and disturbance. These matters have been considered and as a result of the proximity of the houses and orientation to the site and intervening planting, that whilst the scheme would result in a different relationship between the application site and the neighbouring dwellings, the impacts would not be so significant as to justify a refusal given the scale of development and intervening distances.

The highways impacts of the scheme have been assessed and it is considered that the scheme would provide sufficient off street parking and would not result in such additional traffic as to cause either highways safety nor capacity concerns.

Overall whilst the scheme would result in a visible difference to the site and the relationship with the neighbouring sites and residents, the scheme is nevertheless considered to be acceptable and to comply with the relevant policies of the Development Plan.

Planning permission is **GRANTED** subject to conditions.

Consultations:

Highway Authority:

Has assessed the scheme on safety, capacity and policy grounds and recommends that conditions be attached to address the following issues:

- Provision of space for parking prior to first occupation of the extension
- CTMP
- Provision of cycling facilities, space for cyclists to change/shower and information to inform staff and visitors regarding the availability of public transport/walking/cycling /car share clubs
- 20% provision of fast charge sockets
- Provision of a Travel Plan

Thames Water:

Waste Water: The developer is expected to minimise the discharge of groundwater into the public sewer.

Surface Water: If the developer follows the sequential approach to the disposal of surface water we would have no objection .

Representations:

Letters were sent to neighbouring properties in September and November, a site notice was posted 5th August 2021, an advertisement placed in the local press on 12 August 2021. 25 responses have been received from 11 residents including Eversfield Court Management Ltd raising the following issues:

Issue	Number	Response
Harm to neighbour's amenities through noise and disturbance, loss of private view, overbearing relationship, overshadowing, overlooking and loss of privacy, light pollution, potential damage to neighbours boundary wall		See paragraphs 6.15-6.17
Increased pressure on private services		See paragraph 6.26
No need for the development/more affordable care homes are required		See paragraph 6.22
Loss of trees		See paragraphs 6.12-6.14
Increases in traffic and congestion		
Highways safety concerns		See paragraphs 6.18 – 6.21
Harm to listed building		See paragraphs 6.3-6.8
Harm to wildlife		See paragraph 6.24-6.25
Drainage capacity concerns		See paragraph 6.23
		See paragraphs 6.3-6.11

Poor design/Out of character with surroundings

See paragraphs 6.3-6.11

Overdevelopment

See paragraphs 6.3-6.11

1.0 Site and Character Appraisal

- 1.1 The site comprises an existing care home sited on the corner of Reigate Road and Ringley Park Road. It is an 'L' shaped building with the original part of the building (closest to Reigate Road) being a 2 ½ storey Victorian locally listed building and the whole plot lies within the Chart Lane Conservation Area. Extension works have previously been carried out to this building with a 2- storey addition lying broadly parallel to the rear site boundary.
- 1.2 It is a broadly rectangular plot with the home set towards the northern and eastern boundaries, parking at the front of the site with a little to the south of the home and with the space to the south east of the home being a garden. The boundary with Reigate Road is very well planted and largely screens the site from Reigate Road. Mature planting exists along the flank boundary with Eversfield Court being a mix of evergreen and deciduous trees and shrubs with little planting along the rear boundary with the public footpath, which joins Reigate Road and Ringley Park Road. The site slopes gently uphill from west to east.
- 1.3 The surrounding area is one with a mixed residential character and includes Reigate Grammar School some 60m's to the south west of the site. The area exhibits a range of property types from the more traditional Victorian/Edwardian houses found generally in this part of Reigate to the more contemporary houses and flats such as those that abut the site to the north and west. The Chart Lane Conservation Area lies mostly to the south of the site on the opposite side of Reigate Road. Land levels around the site are variable with a steep slope downhill from the footpath at the rear of the site down to the houses in Durfold Drive.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: an initially unacceptable sized addition was revised to a more appropriate scale with sufficient distance to surrounding properties to avoid significant adverse impacts. Changes were made to accommodate the retention of existing mature planting within the site as far as possible. No elevations were supplied so no comments at that stage upon this aspect of the scheme.
- 2.2 Improvements secured during the course of the application: Reduction in the height of the building to achieve a more appropriate height and scale for the original care home building and an internal change to the position of some rooms to address concerns about neighbour privacy.

Further improvements could be secured: By the use of a number of conditions to facilitate the most appropriate car park layout and appearance, the use of appropriate materials, landscaping and where necessary obscure glazing and fencing to protect neighbours amenities.

3.0 Relevant Planning and Enforcement History

- 3.1 99/17620/F 3 storey extension Approved with conditions

3.2	17/02379/F	Extension and re-modelling of the car park hardstanding	Approved with conditions
-----	------------	---	--------------------------

4.0 Proposal and Design Approach

- 4.1 This is a full application seeking permission for a two- storey extension lying to the western side of the site and attaching to the rear part of the existing care home to provide 16 additional bedrooms in total to the existing 36 bed care home with ancillary rooms, ie nurses facilities, etc.
- 4.2 The extension would align with the original part of the building in a north/south orientation broadly aligning with the westernmost boundary of the site. It would have a traditional design to be sympathetic with the most recent extension to the home to which it would adjoin with stone faced elevations and pitched tiled roofs to match the original and extended building. This addition would have a crown roof to reduce the overall height and bulk. The mass of the extension would be broken up with two sets of hipped projecting bays on each side of the extension.
- 4.3 It would accommodate 9 ground floor and 9 first floor bedrooms with windows facing into the site and towards the boundary along the length of the extension and with the end two units facing towards Reigate Road. Two rooms would be lost within the existing home to facilitate the link between the existing and new addition.
- 4.4 An illustrative plans show the area around the extension to be a formally laid out garden, but this is illustrative only and the layout and precise planting plan would be dealt with as part of extension to be garden space but the precise layout will be dealt with by condition to respond to concerns of the Conservation Officer about the formal layout initially proposed.
- 4.5 The front of the site would provide the main parking area with 23 spaces proposed around the front of the building. The spaces are set partially adjacent to the building and partially close to the front and flank boundaries. Some spaces are within the canopy of trees which are to be retained at the front and side of the site with one tree being removed from the site to. Parking for the disabled would be accommodated within the layout.
- 4.6 Works would be undertaken to remove some of the boundary planting lying along the shared boundary with Eversfield Court to the West of the site. A substantial planting plan is also proposed around the site including along this boundary.

Significance

- 4.7 The Design Statement recognises the significance of the building as an example of a late Victorian upper middle class mansion. The original building is still largely intact both externally and internally.

Rationale

- 4.8 In terms of the rationale for the additional rooms would be used to offer nursing care to those residents who approach their most vulnerable phase of life and who otherwise may be forced to move to another home. In economic terms it will secure existing employment and enable an increase in staff.

Design

- 4.9 The extension has been designed to be sympathetic to the existing extension to which it would be attached and to the original building using sympathetic materials and

detailing. The layout of rooms provides a regular rhythm for the elevations and efficient internal layout.

Landscape

- 4.10 The scheme would result in the loss of existing trees/shrubs but would provide significant additional planting as well as features such as a pond to attract wildlife and new planting to bolster the planting along the western boundary.

Access/Parking

- 4.11 A previously approved change to the parking area/ forecourt has not yet been implemented and is partially included in the current scheme. It would ensure a less prominent parking place for the home's minibus, move spaces away from Hunters Lodge to the north east and provide two fully accessible space.

- 4.12 Further details of the development are as follows:

Site area	0.72 ha
Proposed parking spaces	23 (inc 1 minibus)
Existing parking spaces	19 (inc 1 minibus)
Parking standard	13 formal space with space for 6 informal spaces

5.0 Policy Context

5.1 Designation

Urban Area
Chart Lane Conservation Area
Part Locally Listed Building
Medium level of accessibility (6)

5.2 Reigate and Banstead Core Strategy 2014

CS1 Presumption in favour of sustainable development
CS4 Valued townscape and the historic environment
CS10 Sustainable development
CS11 Sustainable construction
CS14 Housing needs of the community
CS17 Travel options and accessibility

5.3 Reigate and Banstead Development Management Plan 2019

DES1 Design of new development
DES5 Delivering High Quality Homes
DES7 Specialist accommodation
DES8 Construction Management
TP1 Access, Parking and servicing
CCF1 Climate change mitigation
NHE3: Protecting trees, woodland areas and natural habitats
NHE9 Heritage assets

5.4 Other Material Considerations

NPPF

NPPG

Supplementary Planning Guidance

Surrey Design

Local Distinctiveness Design Guide

A Parking Strategy for Surrey

Parking Standards for Development

Other

Human Rights Act 1998

6.0 Assessment

6.1 The site comprises an existing care home within an urban area and the principle of additional works are not unacceptable. However, the scheme must be assessed against the policies of the development plan, as below, and must comply with those policies if it is to be considered acceptable.

6.2 The main issues are considered to be:

- Design appraisal
- Impact of local character
- Impact upon Trees
- Neighbour amenity
- Access and parking
- Need for the development
- Drainage capacity
- Harm to Wildlife
- Pressure on Local Services

]

Design appraisal

6.3 Policy DES1 of the DMP expects all new development to be of high quality that makes apposite contribution to the character and appearance of its surroundings. It must (amongst other aims) promote and reinforce local distinctiveness, use high quality materials, have due regard to plot size, layout, density, relationship to neighbouring buildings, provide an appropriate environment for future occupants, include appropriate landscaping and make adequate provision for access and servicing.

6.4 This building is partially locally listed and lies within a Conservation Area and DMP Policy NHE9 requires development to protect, preserve and wherever possible enhance designated and non designated heritage assets. This can be achieved by understanding the significance and character of the asset, use high quality materials, design and detailing such as form, scale, layout, massing securing the long term viable use and future for heritage assets.

6.5 The starting point in this assessment is to note that the scheme has been designed to sit sympathetically with the previous extension and the original building in terms of its scale, design detailing and materials and to that extent it would comply with Policy DES1. The original scheme was considered to be too large with a bulk and massing and design that would adversely affect the heritage assets on and around the site. However, the reduced scale scheme has overcome those original concerns and it is officers view (including the Conservation Officer) that the current scheme has resolved

the original design and conservation concerns. A number of details still need to be clarified but these could be dealt with by condition and would include matters including details of proposed materials, that windows be set back behind the reveal at one brick depth, windows and doors and other external joinery be painted white timber, rainwater goods be black painted metal with ogee gutters, parking spaces to be finished in gravel pea shingle, roof tiles to be handmade sandfaced dark brown clay tiles with bonnett hips to match the existing. Additionally, further details will be required to ensure an appropriate planting screen between the extended area and the Victorian element. These details would ensure that the scheme complies both with policies NHE9 to protect and preserve the surrounding conservation area and with Policy DES1 regarding the use of high quality materials.

- 6.6 The applicant has not made a viability case to justify this work but does draw attention to the fact that “Eversfield is simply too small to be economic as a care home in the long term. This project is essential to enable the home to be manned efficiently & for nursing care as well as residential care to be offered. The proposal will have enormous benefits for the care and welfare of highly vulnerable people and will secure a wonderful asset and an important centre of local employment”. Officers experience of this issue is simply that when new care home proposals come forward they are invariably for much larger homes than this one -in the region of 80+ plus rooms to take advantage of the benefits of economies of scale for staff. It makes sense therefore that apart from offering an enhanced range of care options that it could also improve the economies of scale for the operation of the home. If that were the case then the scheme would also comply with policy NHE9 insofar as it could secure the long terms use of the site and the locally listed building (as far as it is possible to say).
- 6.8 Overall it is considered that the scheme would comply with the provisions of the policies referenced above and therefore also the provisions of the NPPF.

Impact upon local character

- 6.9 Policies DES1 and NHE9, as referenced in paragraphs 6.3 and 6.4 are also relevant to the consideration of this scheme upon the wider surroundings.
- 6.10 The character of the area is very mixed with a range of property types, ages, sizes and designs. Although largely residential in character the wider area does include the nearby Grammar School the scale and design of which do form part of the character of the area within which the site lies. Also contributing to that character are several blocks of flats of varying sizes and designs set within generally mature and well planted gardens. The scale of these buildings, including Eversfield, lie alongside the many smaller domestic buildings in correspondingly smaller plots. Policy DES1 addresses the potential for conflict between these differing scale buildings by referencing the need for due regard to plot size, layout, density, relationship to neighbouring buildings.
- 6.11 The extension would be a substantial addition to the existing building, but this is a large site and it is considered that it could accommodate the proposed works without feeling cramped within the plot. A direct comparison in terms of density is not possible due to the different character of the use compared to individual surrounding homes but it would provide future residents with an appropriate environment. Subject therefore to not causing harm in respect of the impact upon trees and neighbouring amenities it could be concluded that the scheme would be an appropriate form of development that would not harm the character of the surrounding area.

Impact upon Trees

- 6.12 DMP Policy NHE3 advises that where relevant new development would be required to include an assessment of existing trees and landscape features on the site including their suitability for retention. Unprotected but important trees with ecological, amenity or other value should be retained as an integral part of the design of development except where their long terms survival would be compromised by their age or condition or where there are overriding benefits for the their removal. Development involving the loss of a tree in category A or B will be refused unless the need for and benefits of development in that location clearly outweigh the loss which will be assessed on a case by case basis commensurate with the value of the feature. Where such losses are agreed this will be subject to compensatory provision commensurate with the scale of the loss.
- 6.13 This scheme would result in the removal of some trees and shrubs along the western boundary shared with Eversfield Court including a Category A tree to the west of the proposed extension. This relates to a 15m common oak tree which lie within the existing boundary planting along this boundary albeit it is set in from the boundary by approximately 9 m's. It would lie in very close proximity to the flank wall of the proposed extension and it is not possible to keep the tree under this scheme. This is unfortunate but it is also appreciated that effort has gone into the care and protection of retained trees on the site. The loss of this tree would be noticeable to residents in Eversfield Court along with the loss of other shrubs and smaller trees along this boundary although replacement landscaping would be provided. In total 11 trees would be lost around the site including one category B Bay tree growing partially beneath the canopy of a 15m Common Oak in the centre of the site. The other trees to be removed are all category C and no objections are raised to those removals. Although none of the trees are covered by TPO, their location within the conservation area affords them some protection.
- 6.14 The loss of trees on this site is regrettable, along the Reigate Road boundary this is not considered a particular issue since the losses would not be noticeable and new planting will be provided that would in time supplement the existing green screen along this frontage. The loss of trees along the boundary shared with Eversfield Court is very regrettable and will be noticeable to the residents on the adjacent site: not only the loss of the Category A tree but also the shrubs that will need to be removed or pruned back. This will create a significantly different outlook for the residents adjacent to this site. There is some planting on the Eversfield Court side of the fence but this would not compensate for the losses that would be experienced. The proposed extension would be set back between 9.3m's – over 13m's from the site boundary and this would allow good levels of new planting that would in time soften the visual impact of the proposed new building. The submitted Arboricultural Method Statement indicates almost 900 plants being proposed around the site with 387 along the boundary with Eversfield Court. However officers believe that area A along the boundary with Eversfield Court may benefit from a re-assessment once the clearance of existing foliage has taken place: it then being entirely clear the extent of plantingworks that would be needed to replace/enhance this boundary. Accordingly despite the details already provided it is intended to attach a landscaping condition. The planting proposed would still need to consider the impacts on the internal light and outlook to the proposed rooms, but nevertheless a good planting scheme could be achieved. On balance, taking account of the benefits of the scheme, given the level of planting around the site and the level of replacement planting that could be achieved, it is not considered that the loss of the one Category A and one Category B trees would be so significant as to warrant a refusal of permission .

Neighbour amenity

- 6.15 DMP policy DES1 seeks to ensure that new development does not adversely impact upon the amenities of occupants of existing nearby buildings including by way of overbearing, obtrusiveness, overshadowing, overlooking and loss of privacy.
- 6.16 Residents from Eversfield Court to the west and Durfold Close to the north have raised objection to the scheme on the basis of noise and disturbance, loss of private view, overbearing relationship, overshadowing, overlooking and loss of privacy, light pollution.

Noise/disturbance:

Whilst there is likely to be noise and disturbance during construction, this would not be considered significant enough to refuse a scheme and following completion this will be a residential environment which would not be expected to cause unacceptable levels of noise and disturbance to its neighbours.

Loss of Private view:

Individuals are not entitled to a private view across their neighbours land.

Overbearing/obtrusive Relationship

Residents to the rear of the site in Durfold Drive where land levels are significantly lower have expressed concern in this respect. Given the separation distances (numbers 26-34 Durfold Drive ranging between 23.3m's – 34 m's from the proposed extension) and the presence of a tall boundary hedge at the rear of number 34 or the more oblique angle of view of the site with numbers 26 and 28 Durfold Drive, the scheme is not considered to cause a harmful overbearing relationship. This assessment takes into account the changing land levels between the site and the houses in Durfold Drive.

The flats at Eversfield Court lie at the closest point 21.3m's from the flank wall of the proposed extension on a site with little difference in levels. A boundary fence along the shared boundary would prevent window to window views between Eversfield Court and the proposed extension at ground floor level. The separation distance between first floor windows would exceed that usually considered acceptable for principal facing windows in new development and this scheme is no exception

Overlooking/Loss of Privacy

The separation distances referred to above would in officers view ensure that no significant levels of overlooking or loss of privacy would be created by this scheme. It is acknowledged that the residents of those houses to the north and the flats in particular to the west would have a very different outlook than at present. However there is no reason that standards regarding separation distances for the development of this site should be different to those applied elsewhere across the Brough.

Overshadowing:

The apartments in Eversfield Court nearest to the scheme are likely to experience some overshadowing in the early morning whilst houses to the north in Durfold Drive may experience some overshadowing during the winter months caused by the development. However, it is not considered that in either case, given the separation distances involved that this would be at levels considered unacceptable.

Other neighbour concerns:

Concerns have also been expressed regarding the potential harm to garden walls by the excavation needed for foundations: this would be subject to the usual requirement by anyone carrying out building work that they do not damage their neighbours properties and is not a matter for this authority to consider.

Concerns have been expressed regarding potential drainage issues due to the sandy nature of soil in this area with water causing damage/land slippage to neighbouring sites. Drainage matters would be dealt with by the Building Regulations procedure and as above, any new development must pay due regard to the impacts upon neighbouring properties

The existing external lighting on site is a cause of concern to nearby residents and the applicant has agreed that no external lights would be affixed to the building where facing Eversfield Court. However this will be addressed by means of a condition to secure details of all proposed external lighting.

- 6.17 Overall whilst appreciating that the neighbours to this site would have a different outlook and experience of their homes, this scheme nevertheless would comply with the general standards adopted for new development in this Borough.

Access and parking

- 6.18 DMP Policy TAP1 requires that all new development should provide safe and convenient access for all road users taking account of cumulative impacts to ensure that scheme does not cause highways safety concerns nor impede the free flow of traffic. Sufficient parking should be provided on site to ensure that there is no overspill onto the adjacent highway such as to cause the above issues.
- 6.19 Annex 4 of the DMP advises that the parking standard for residential care homes and nursing homes are subject to an individual assessment. In this instance 23 spaces are proposed.
- 6.20 The scheme has been assessed by the County highways authority who consider the issues of safety, capacity and free flow of traffic. They raise no objections subject the layout of the parking area complying with a previously submitted plans rather than the most recent plan. No concerns have been expressed regarding the proposed parking levels.
- 6.21 The site lies within a medium accessibility area with the town centre approximately a 10 minute walk with its services and public transport and the train station being approximately another 5-10minutes beyond that. Overall it is considered that this is a very sustainable location and subject to a number of conditions including the need for the submission of a travel plan the scheme is considered to comply with the relevant highways policies at both local and national level.

Need for the Development

- 6.22 A number of residents have raised concerns that this care home is a private and expensive home whilst other homes have vacancies and when in fact more affordable homes are required. There is an accepted need for a wide range of accommodation within the /borough and an older population is generally accepted to have a need for such provision. The affordability of the scheme is not a factor which the Council can take into account. Therefore, it is considered that this scheme would provide a policy compliant form of accommodation.

Drainage Capacity

- 6.23 Thames Water have not raised objection to the principal of development whilst the actual physical works to connect to the drainage supply would be a matter for the building regulation process. No objections are raised in this capacity.

Harm to Wildlife

- 6.24 DMP Policy NHE2 instructs that development proposals will be expected to retain and enhance valued priority habitats and features of bio-diversity importance. Wherever possible a bio-diversity net gain should be achieved and this approach mirror that seen in national legislation.
- 6.25 The scheme would take place in a cultivated garden where the main loss would be anticipated to arise from the loss of trees and shrubs which could accommodate birds and potentially providing roosts for bats. Conditions could be attached to ensure that prior to works commencing a survey is undertaken to ensure no nests or roosts are disturbed and that a mitigation plan is provided to ensure that an overall bio diversity enhancement is achieved. This could take place as part of the landscaping works that will also be recommended.

Pressure on local Services

- 6.26 Concern has been expressed that the additional 16 bedrooms would put unacceptable pressure on local services, particularly health services because of the age and potential health of residents. This scheme is one of many new residential schemes being approved all of which would have an impact upon local services but which are needed to fulfil the Councils housing obligations. There is no evidence available to show that the services that provide for this area would be unable to cope with the additional 16 residents and the scheme could not be refused on such a basis.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Combined Plan	D-13	A	07.10.2021
Floor Plan	D-07	E	22.11.2021
Floor Plan	D-06	E	22.11.2021
Floor Plan	D-08	C	22.11.2021
Floor Plan	D-09	C	22.11.2021
Proposed Plans	D-10	E	22.11.2021
Proposed Plans	D-11	E	22.11.2021
Proposed Plans	D-12	E	22.11.2021
Proposed Plans	D-14	E	22.11.2021
Location Plan	D-01	B	22.07.2021
Combined Plan	D-10	C	22.07.2021
Floor Plan	D-04	B	30.07.2021
Floor Plan	D-03	C	30.07.2021
Elevation Plan	D-05	B	30.07.2021

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

3. No development above ground floor slab level shall commence on site until a scheme for the landscaping and replacement tree planting of the site including the retention of existing landscape features has been submitted to and approved in writing by the local planning authority. The Landscaping scheme shall include details of hard landscaping, boundary fencing of treatment, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes, the reinstatement of evergreen ornamental shrubbery set between the extended area and the Victorian building, numbers/densities of planting and an implementation programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to first occupation or use of the approved development or in accordance with a programme agreed in writing with the local planning authority.

All new tree planting shall be positioned in accordance with guidelines and advice contained in the current British Standard 5837. Trees in relation to construction.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, and shrubs of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies NHE3 and DES1 of the Reigate and Banstead Borough Development Management Plan 2019, British Standards including BS8545:2014 and British Standard 5837:2012.

4. Prior to the commencement of any development works, including demolition and all construction activities, all related arboricultural matters, including arboricultural supervision, monitoring and tree protection measures shall be undertaken in strict accordance with the approved details contained in the Arboricultural Impact Assessment ref. PB/AIA-21/04.09/Rev A and the Arboricultural Method Statement ref. PB/AMS-21/04.09/Rev A.

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in relation to design, demolition and

construction and to comply with policies NHE3, DES1 and DES3 of the Reigate and Banstead Development Management Plan

5. Prior to the commencement of any works above slab level, -photographic samples of a sample wall of the proposed rubble stone adjacent to the existing extension, showing it matches in sizes, courses, rubble face Bargate Stone colour and bath stone ashlar to match the existing. It is recommended that is be provided at an early stage to allow for ordering time.

Reason: To ensure a satisfactory appearance upon completion to accord with the provision of Policies DES1 and NHE9 of the Reigate and Banstead Development Management Plan 2019.

6. All rooftiles shall be handmade sandfaced dark brown clay tiles with bonnet tiles to hips to match the existing. These should be sourced at an early stage to allow for ordering times.

Reason: To ensure a satisfactory appearance upon completion to accord with the provision of Policies DES1 and NHE9 of the Reigate and Banstead Development Management Plan 2019.

7. All windows and doors shall be set back behind the reveal at one brick depth, with casements in each opening.

Reason: To ensure a satisfactory appearance upon completion to accord with the provisions of Policies DES1 and NHE9 of the Reigate and Banstead Development Management Plan 2019.

8. The eaves shall be black painted open rafter feet with no fascia.

Reason: To ensure a satisfactory appearance and character upon completion to accord with the provisions of Policies DES1 and NHE9 of the Reigate and Banstead Development Management Plan 2019.

9. All windows, doors and other external joinery shall be of white painted timber.

Reason: To ensure a satisfactory appearance and character upon completion to accord with the provisions of Policies DES1 and NHE9 of the Reigate and Banstead Development Management Plan 2019.

10. All rainwater goods shall be black painted cast metal with ogee gutters.

Reason: To ensure a satisfactory appearance and character upon completion to accord with the provisions of Policies DES1 and NHE9 of the Reigate and Banstead Development Management Plan 2019.

11. All parking spaces shall be finished in fixed flint gravel pea shingle to reduce the extent of tarmac and all marking out is to be in granite setts.

Reason: To ensure a satisfactory appearance and character upon completion to accord with the provisions of Policies DES1 and NHE9 of the Reigate and Banstead Development Management Plan 2019.

12. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking /turning areas shall be retained and maintained for their designated purpose.

Reason: In order that the development should not prejudice highways safety nor cause inconvenience to other highway users and to satisfy Policy TAP1 of the Reigate and Banstead Development Management Plan 2019 and the objectives of the National Planning Policy Framework.

13. No development shall commence until a Construction Transport Management Plan, to include details of:
 - a. Parking for vehicles of site personnel, operatives and visitors
 - b. loading and unloading of plant and materials
 - c. storage of plant and materials
 - d. programme of works (including measures for traffic management)
 - e. HGV deliveries and hours of operation
 - f. Measures to prevent the deposit of materials on the highway
 - g. On site turning for construct vehicles

Has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: In order that the development should not prejudice highways safety nor cause inconvenience to other highway users and to satisfy Policy TAP1 of the Reigate and Banstead Development Management Plan 2019 and the objectives of the National Planning Policy Framework.

14. Prior to the occupation of the development, a Travel Plan shall be submitted for the written approval of the Local Planning Authority in accordance with the sustainable development aims and objectives of the NPPF, Surrey County Council's "Travel; Plans Good Practice Guide". The approved Travel Plan shall be implemented for each and every subsequent occupation of the development, and thereafter shall be maintained and developed to the satisfaction of the Local Planning Authority

Reason: In recognition of Section 9 Promoting Sustainable Transport in the NPPF and in order to meet the objectives of the NPPF and to satisfy the provisions of Policy TAP1 of the Reigate and Banstead Development Management Plan 2019.

15. The development shall not be occupied until unless and until at least 20% of the available parking spaces are provided with a fast charge socket (current minimum requirement): 7kw Mode 3 with Type 2 connector – 230 v AC 32 amp

single phase dedicated supply)., and a further 20% of the available spaces to be provided with power supply to provide additional fast socket if required, in accordance with a scheme to be submitted to and approved in writing the LPA.

Reason: In recognition of Section 9 Promoting Sustainable Transport in the NPPF and in order to meet the objectives of the NPPF and to satisfy the provisions of Policy TAP1 of the Reigate and Banstead Development Management Plan 2019.

16. The development hereby approved shall not be first opened until and until the following facilities have been provided in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority for
 - h. The secure parking of bicycles within the development site
 - i. Facilities within the development site for cyclists to change into and out of cyclist equipment/shower and
 - j. Information to be provided to staff/visitors regarding the availability of and whereabouts of local public transport/walking/cycling/car sharing clubs/car clubs.

Reason: In recognition of Section 9 Promoting Sustainable Transport in the NPPF and in order to meet the objectives of the NPPF and to satisfy the provisions of Policy TAP1 of the Reigate and Banstead Development Management Plan 2019.

17. Prior to development above slab level details shall be provided in writing of all proposed external lighting on the approved extension and in the garden.

Reason: To protect the amenities of neighbouring occupiers in accordance with the provision of Policy DES1 of the Reigate and Banstead Development Management Plan 2019.

18. Prior to occupation of the development, the first floor windows to bedroom 17 the stairs and sluice rooms overlooking Eversfield Court and the first floor bathroom windows to bedrooms 10 and 11 shall be obscure glazed and shall not be openable below 1.7m's above finished floor level and shall remain as such in perpetuity.

Reason: To protect the privacy of nearby residents in accordance with the provisions of Policy DES1 of the Reigate and Banstead Development Management Plan 2019

19. Prior to any clearance of trees or shrubs required to implement this permission, an inspection shall be carried out by a suitably qualified ecologist to ensure that there are no active nests contained therein. Should any be found works shall cease until the fledging season has finished.

Reason: To protect existing wildlife utilising the site in accordance with the provision of Policy NHE2 of the Reigate and Banstead Development Management Plan 2019.

20. Prior to any works above slab level, details shall be provide in writing to and be approved by the Local Planning authority of the proposed bio diversity enhancements and mitigation proposed to ensure a total net increase in bio diversity. The scheme shall be carried out in accordance with the approved details.

Reason: To accord with the provisions of Policy NHE2 of the Reigate and Banstead Development Management Plan 2019 and the National Planning Policy Framework.

INFORMATIVES

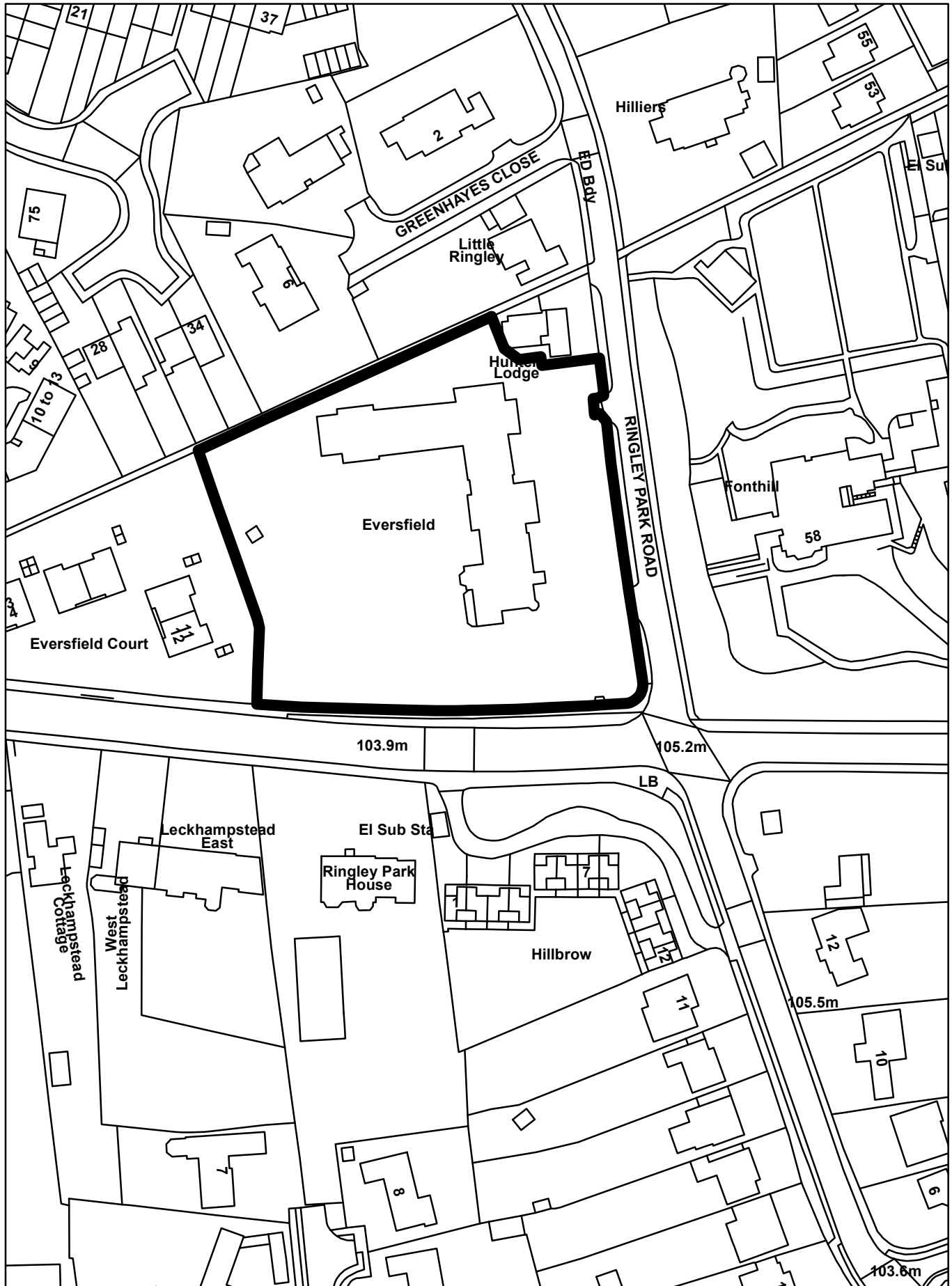
1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.org.uk.
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions. Further information can be found on the Council website at : [Climate Change Information](#).
3. Prior to the initial occupation of the approved scheme that wheeled refuse bins conforming to British Standard BSEN840, separate recycling bins for paper/card and mixed cans, and storage facilities for the bins should be installed by the developer prior to the initial occupation of any dwelling hereby permitted. Further details on the required number and specification of wheeled bins and recycling boxes is available from the Council's Neighbourhood Services on 01737 276501 or 01737 276097, or on the Council's website at www.reigate-banstead.gov.uk. Bins and boxes meeting the specification may be purchased from any appropriate source, including the Council's Neighbourhood Services Unit on 01737 276775.
4. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and

(g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

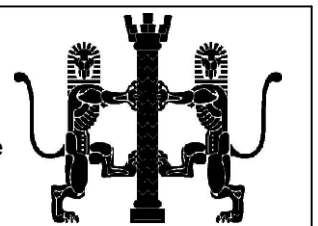
5. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
6. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in cleaning, clearing or repairing highway surfaces and prosecutes persistent offenders (Highways Act 1980 Section 131.148,149).
7. It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for guidance and further information on charging modes and connector types. Installation must be carried out in accordance with the IET Code of Practice for Electric Vehicle Charging Equipment: <https://www.theiet.org/resources/standards/cop-electric.cfm>.

21/02009/F - Eversfield, 56 Reigate Road, Reigate



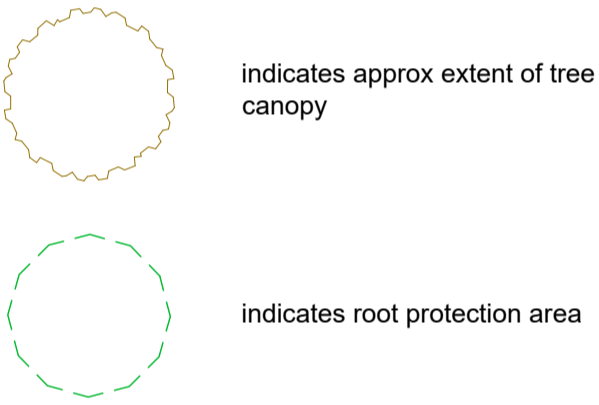
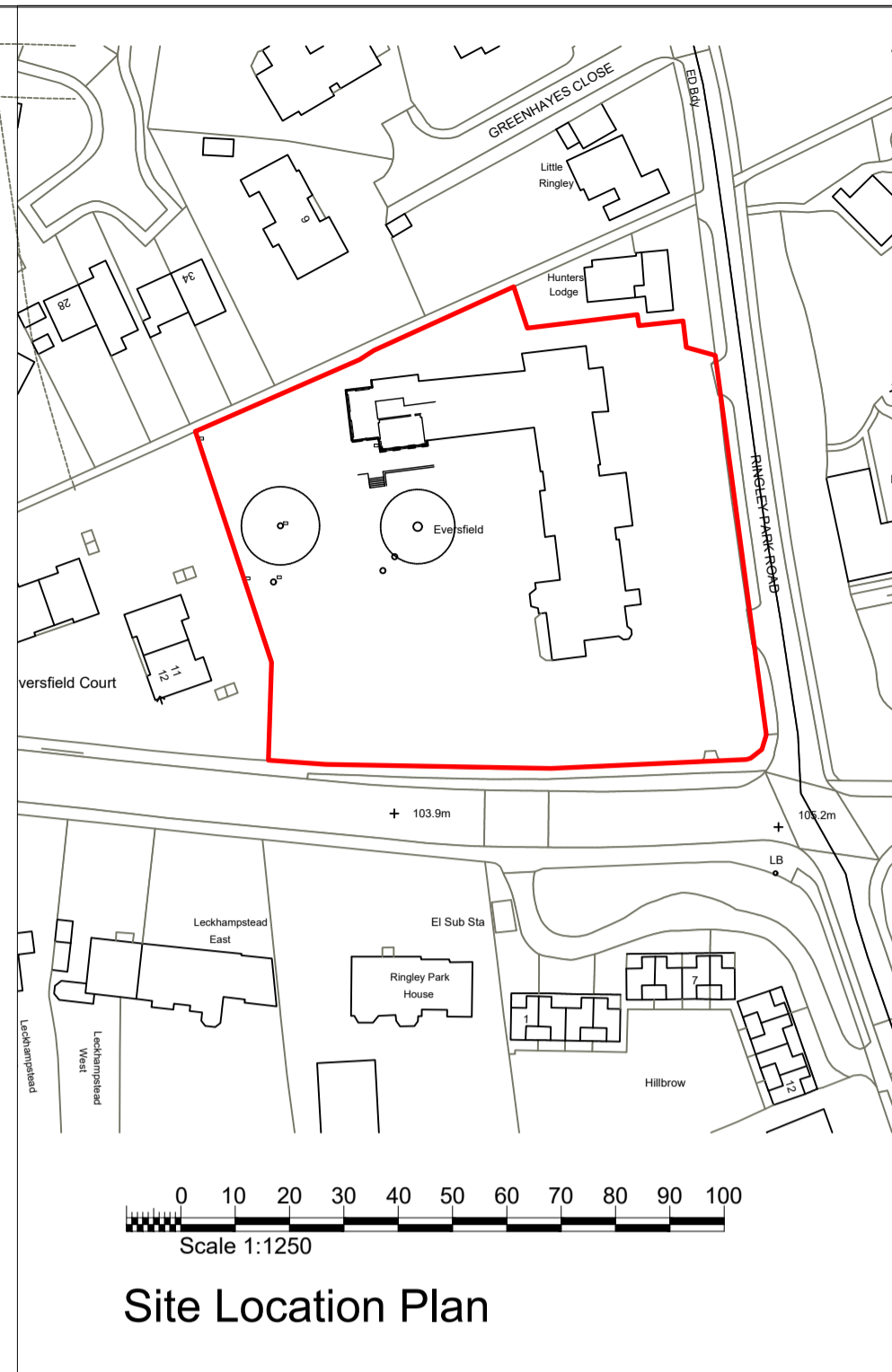


This drawing remains the Copyright of the architects and may not be reproduced in whole or in part without their written permission



NOTES

- Do not scale
- Verify all dimensions on site before commencing any work or preparing any shop drawings
- All building materials, components and workmanship to comply with the appropriate Public Health Acts, Building Regulations, British & European Standards and Codes of Practice and to the appropriate manufacturers recommendations.
- For all specialist work see relevant drawings
- All schemes to be set out completely including buildings, roads, drainage and levels prior to the commencement of works
- Sites to be checked against Land Registry plans and any necessary Easements to be established
- Any discrepancies, errors or omissions to be reported to the architect for further instructions before commencement of works



K		
J		
H		
G		
F		
E		
D		
C		
B		
10.06.20	Areas to front & side of building added	JR
A		
18.12.19	Additional site features shown	JR
Date	Revisions	By

DAC
Architects

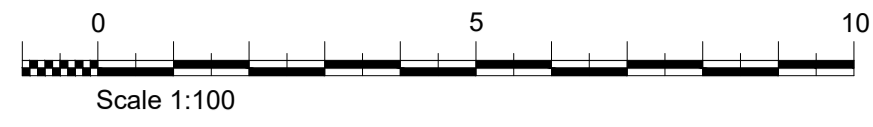
21 Stone Street, Gravesend, Kent, DA11 0NP
Tel: 01474 566996 Fax: 01474 320374
Design@DACarchitects.co.uk

Project Title
EVERSFIELD CARE HOME REIGATE

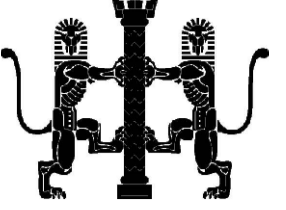
Client
ELIZABETH FINN CARE

Drawing Title
**BLOCK PLAN
SITE LOCATION PLAN
AS EXISTING**

Scale 1:1250, 1/200	Date 22/07/19	Drawn By TR
Project No. 5214	Dwg. No. D-01	Rev. B



(C) This drawing remains the Copyright of the architects and may not be reproduced in whole or in part without their written permission



NOTES

Do not scale

Verify all dimensions on site before commencing any work or preparing any shop drawings

All building materials, components and workmanship to comply with the appropriate Public Health Acts, Building Regulations, British & European Standards and Codes of Practice and to the appropriate manufacturers recommendations.

For all specialist work see relevant drawings

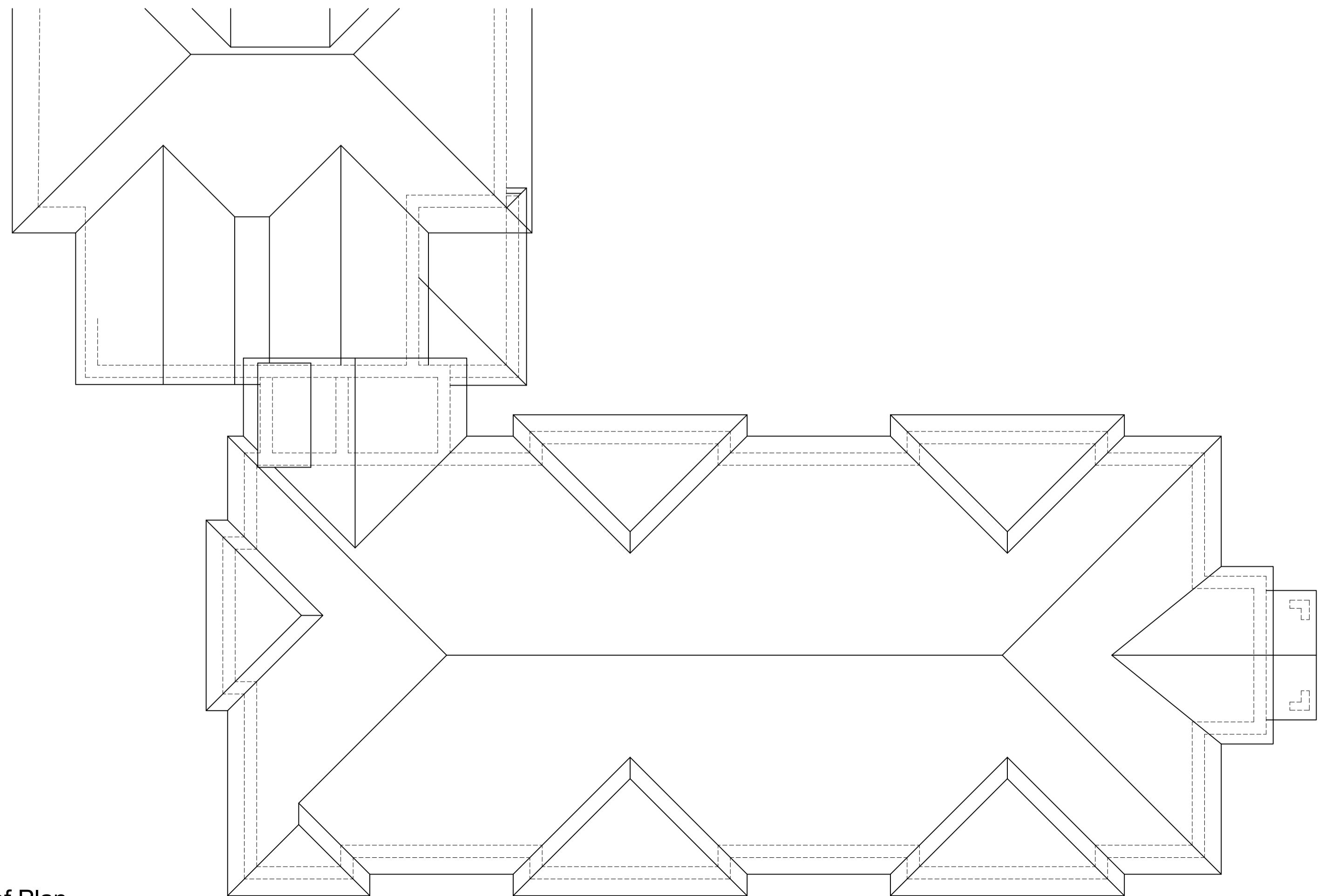
All schemes to be set out completely including buildings, roads, drainage and levels prior to the commencement of works

Sites to be checked against Land Registry plans and any necessary Easements to be established

Any discrepancies, errors or omissions to be reported to the architect for further instructions before commencement of works

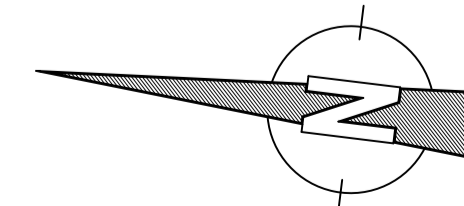


West Elevation D-10-01



Roof Plan

External Materials
 Plain clay roof tiles to match existing roof of two/three storey wing
 Bargate stone external wall facings with reconstructed stone heads, cills & string courses, all to match existing
 White painted or high build stained timber window & door frames



K		
J		
H		
G		
F		
E		
D		
C		
30.06.21	Doors revised	JR
B		
28.06.21	Balcony roof added, note for doors to cupboard beneath staircase	JR
A		
28.05.21	Roof plan adjusted to suit elevations	JR
Date	Revisions	By

DAC
 Architects

21 Stone Street, Gravesend, Kent, DA11 0NP
 Tel: 01474 566996 Fax: 01474 320374
 Design@DACarchitects.co.uk

Project Title
EVERSFIELD CARE HOME REIGATE

Client
ELIZABETH FINN CARE

Drawing Title
ELEVATION & SECTION
AS PROPOSED

Scale 1:100	Date 20.05.21	Drawn By JR
----------------	------------------	----------------

Project No. 5214	Dwg. No. D-10	Rev. C
----------------------------	-------------------------	------------------



© This drawing remains the Copyright of the architects and may not be reproduced in whole or in part without their written permission

NOTES

Do not scale

Verify all dimensions on site before commencing any work or preparing any shop drawings

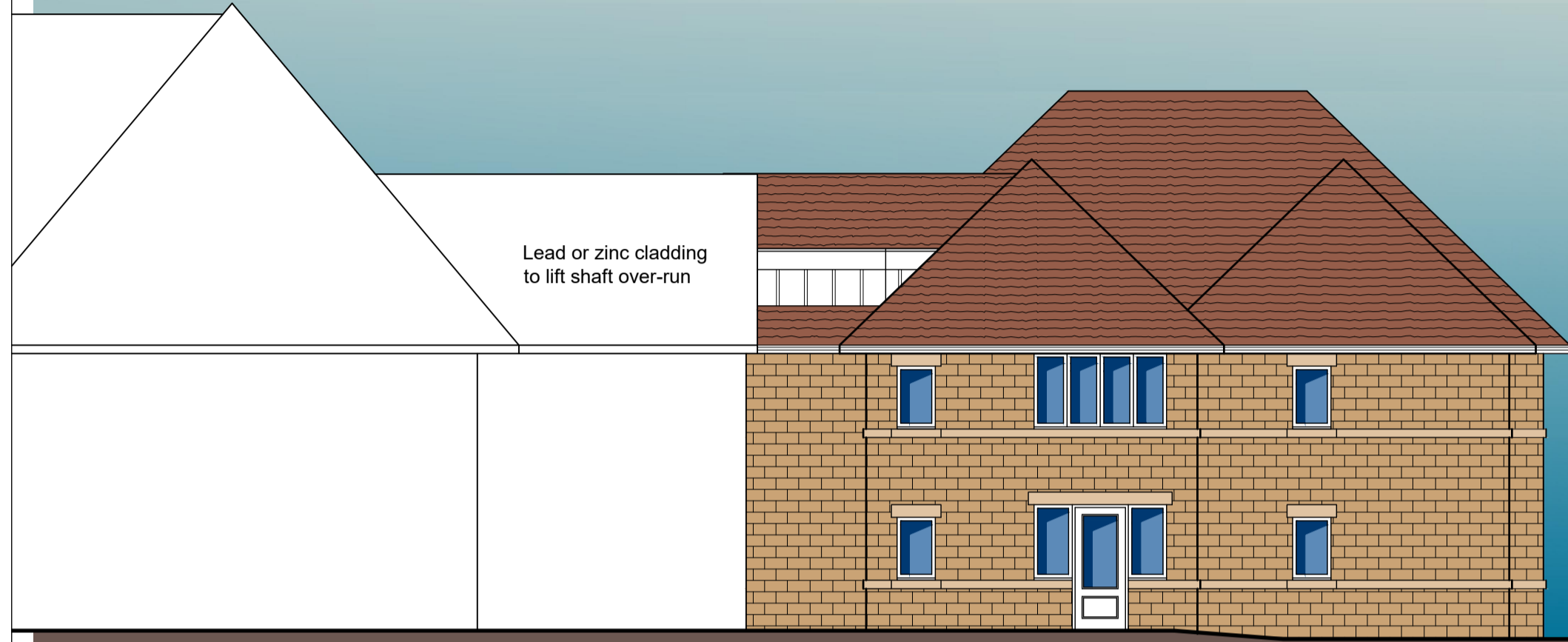
All building materials, components and workmanship to comply with the appropriate Public Health Acts, Building Regulations, British & European Standards and Codes of Practice and to the appropriate manufacturers recommendations.

For all specialist work see relevant drawings

All schemes to be set out completely including buildings, roads, drainage and levels prior to the commencement of works

Sites to be checked against Land Registry plans and any necessary Easements to be established

Any discrepancies, errors or omissions to be reported to the architect for further instructions before commencement of works



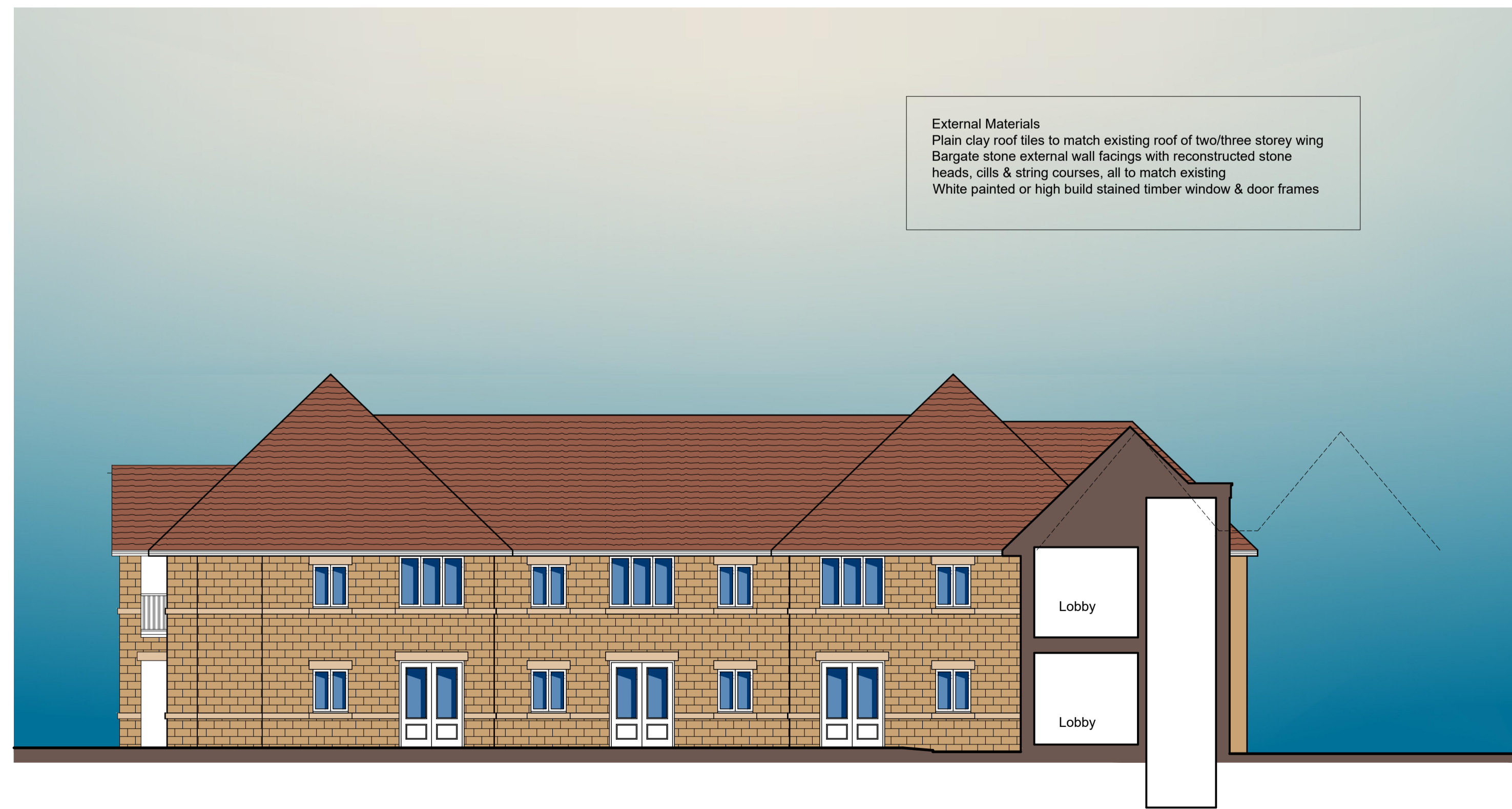
North Elevation D-12-04



East Elevation/Section D-12-05



South Elevation/Section D-12-06



East Elevation D-12-07

External Materials
 Plain clay roof tiles to match existing roof of two/three storey wing
 Bargate stone external wall facings with reconstructed stone heads, cills & string courses, all to match existing
 White painted or high build stained timber window & door frames

K		
J		
H		
G		
F		
E	Revised to match other elevs in order to reduce windows facing Eversfield Court	JR
D	Redesigned to suit Conservation Officer comments, floors levels reduced by 225mm	JR
C	Crown Roof Shown	JR
B	Doors revised	JR
A	Further detail to north elev, shading to windows	JR
Date	Revisions	By

DAC
 Architects

21 Stone Street, Gravesend, Kent, DA11 0NP
 Tel: 01474 566996 Fax: 01474 320374
 Design@DACarchitects.co.uk

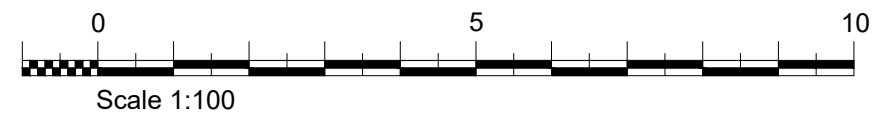
Project Title
EVERSFIELD CARE HOME REIGATE

Client
ELIZABETH FINN CARE

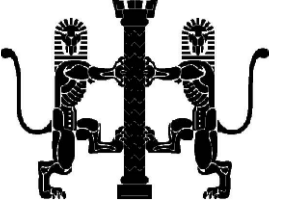
Drawing Title
ELEVATION & SECTIONS 04 to 07
AS PROPOSED

Scale	Date	Drawn By
1:100	20.05.21	JR

Project No.	Dwg. No.	Rev.
5214	D-12	E



(C) This drawing remains the Copyright of the architects and may not be reproduced in whole or in part without their written permission



NOTES

- Do not scale
- Verify all dimensions on site before commencing any work or preparing any shop drawings
- All building materials, components and workmanship to comply with the appropriate Public Health Acts, Building Regulations, British & European Standards and Codes of Practice and to the appropriate manufacturers recommendations.
- For all specialist work see relevant drawings
- All schemes to be set out completely including buildings, roads, drainage and levels prior to the commencement of works
- Sites to be checked against Land Registry plans and any necessary Easements to be established
- Any discrepancies, errors or omissions to be reported to the architect for further instructions before commencement of works

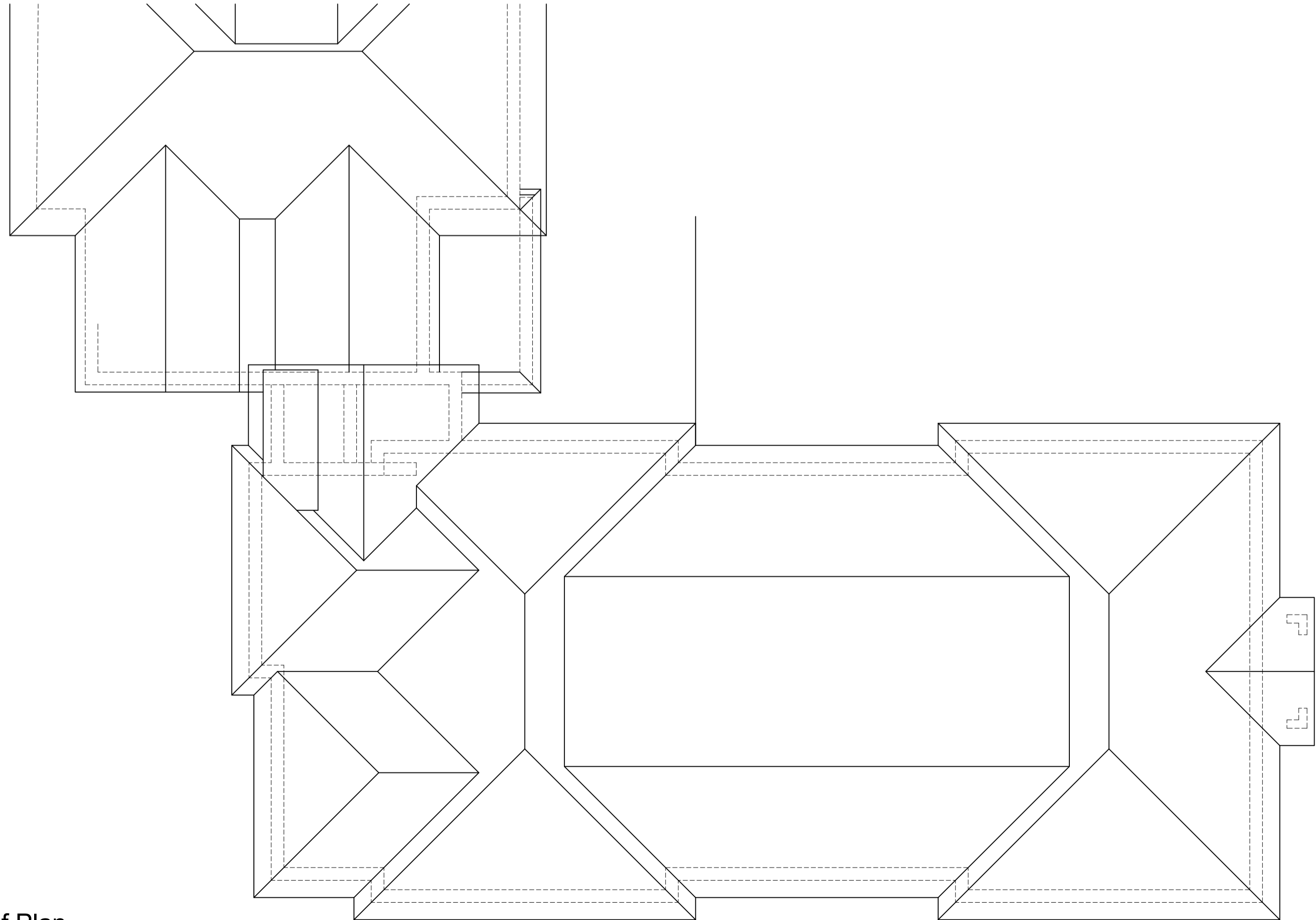


Recent two storey wing

Original Victorian Mansion

Proposed two storey wing

West Elevation D-10-01



Roof Plan

External Materials
 Plain clay roof tiles to match existing roof of two/three storey wing
 Bargate stone external wall facings with reconstructed stone heads, cills & string courses, all to match existing
 White painted or high build stained timber window & door frames

K		
J		
H		
G		
F		
E		
19.11.21	Revised to reduce feeling of overlooking	JR
D		
24.09.21	Redesigned to suit Conservation Officer comments, floors levels reduced by 225mm	JR
C		
30.06.21	Doors revised	JR
B		
28.06.21	Balcony roof added, note for doors to cupboard beneath staircase	JR
A		
28.05.21	Roof plan adjusted to suit elevations	JR
Date	Revisions	By

DAC
Architects

21 Stone Street, Gravesend, Kent, DA11 0NP
 Tel: 01474 566996 Fax: 01474 320374
 Design@DACarchitects.co.uk

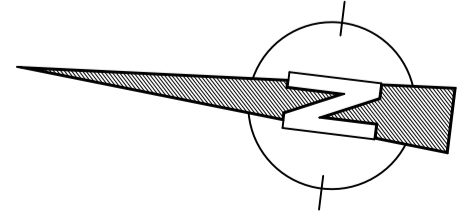
Project Title
EVERSFIELD CARE HOME REIGATE

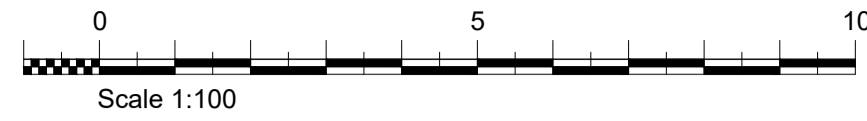
Client
ELIZABETH FINN CARE

Drawing Title
ELEVATION & SECTION
AS PROPOSED

Scale 1:100	Date 20.05.21	Drawn By JR
----------------	------------------	----------------

Project No. 5214	Dwg. No. D-10	Rev. E
----------------------------	-------------------------	------------------

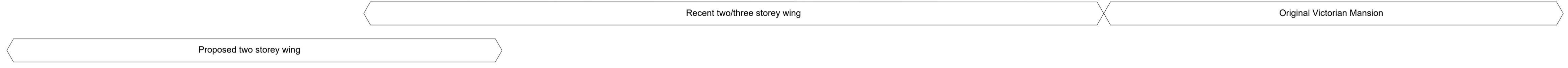




(C) This drawing remains the Copyright of the architects and may not be reproduced in whole or in part without their written permission

NOTES

- Do not scale
- Verify all dimensions on site before commencing any work or preparing any shop drawings
- All building materials, components and workmanship to comply with the appropriate Public Health Acts, Building Regulations, British & European Standards and Codes of Practice and to the appropriate manufacturers recommendations.
- For all specialist work see relevant drawings
- All schemes to be set out completely including buildings, roads, drainage and levels prior to the commencement of works
- Sites to be checked against Land Registry plans and any necessary Easements to be established
- Any discrepancies, errors or omissions to be reported to the architect for further instructions before commencement of works



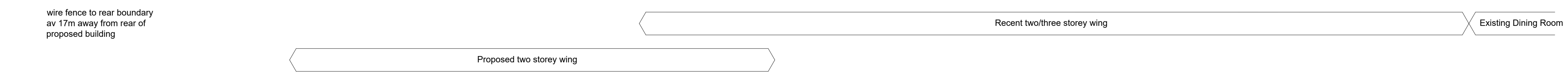
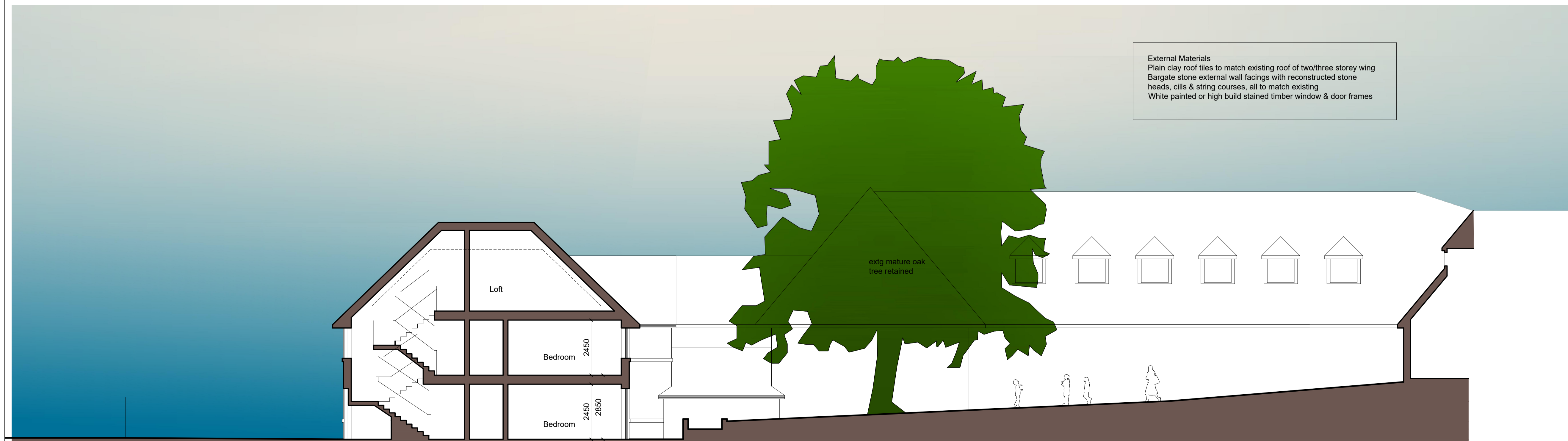
South Elevation D-11-02

K		
J		
H		
G		
F		
E	19.11.21	Windows to bedrooms 8 & 9 now on this elevation
D	24.09.21	Redesigned to suit Conservation Officer comments, floors levels reduced by 225mm
C	30.06.21	Doors revised
B	28.06.21	Staircase & section
A	28.05.21	Redesign
Date	Revisions	By

External Materials
 Plain clay roof tiles to match existing roof of two/three storey wing
 Bargate stone external wall facings with reconstructed stone heads, cills & string courses, all to match existing
 White painted or high build stained timber window & door frames

DAC
 Architects

21 Stone Street, Gravesend, Kent, DA11 0NP
 Tel: 01474 566996 Fax: 01474 320374
 Design@DACarchitects.co.uk



Section D-11-03

Project Title
EVERSFIELD CARE HOME REIGATE

Client
ELIZABETH FINN CARE

Drawing Title
ELEVATION & SECTION 02 & 03
AS PROPOSED

Scale	Date	Drawn By
1:100	20.05.21	JR

Project No.	Dwg. No.	Rev.
5214	D-11	E